

SCHEDULE OF JOINERY

| TYPE | DESCRIPTION | SIZE |
|------|------------------|-------------|
| D | CMDA A CHANNEL | 2x3 |
| D1 | W. FLOOR DOOR | 9'x2'3" |
| D2 | W. ELLUM DOOR | 2'6" x 7'0" |
| W | SCULPTURE WINDOW | 6'0" x 4'6" |
| W1 | P.A.I. WINDOW | 0' x 4'6" |
| W2 | W. WINDOW | 3'0" x 4'6" |
| V | A.P. VENTILATOR | 3'0" x 2'6" |
| G | GATE | 3'3" x 7'0" |

SPECIFICATIONS

- Using Stock Bricks in Basement and in Super Structure in CM 1:5 Mix.
- All R.C.C. Works with suitable Reinforcement
- Ceiling Plastering with CM 1:3 Mix
- Wall Plastering inside and outside with CM 1:5 Mix
- All Woodwork with Best Quality Teakwood
- White and Colour with Three Coats
- Painting with Three Coats of Approved Paint over One Coat of Primer.

AREA STATEMENT

| DESCRIPTION | SQ.FT | SQ.M. |
|-------------------------|---------|--------|
| TOTAL PLOT EXTENT | 1787.50 | 166.06 |
| PROPOSED STILT FLOOR | 1008 | 93.65 |
| PROPOSED GROUND FLOOR | 1072 | 99.6 |
| PROPOSED FIRST FLOOR | 362 | 33.63 |
| PROPOSED HEAD ROOM AREA | 118 | 10.96 |

PLOT COVERAGE : 60%
F.S.I : 1.4

BUILDING USE - RESIDENTIAL

OWNER/APPLICANT

S. Anand on Sekan

INDEX

| INDEX | LICENSED SURVEYOR |
|----------|----------------------|
| PROPOSED | S. RAMA PRABHU |
| BOUNDARY | CONSULTING ENGINEER |
| ROAD | LICENSED SURVEYOR-II |

PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING AT OLD DOOR NO.6, NEW DOOR NO.19, PORTION 'B', PRASANA VINAYAGAR KOIL STREET, MYLAPORE, CHENNAI-4. COMPRISED IN R.S.NO.995/7, BLOCK NO.20.

PREVIOUS SUBDIVISION PLAN SANCTION VIDE- SD/D10/130/2002 dt-14.6.2002.

CORPORATION DIVISION NO-145 ZONE- X

SHEET TITLE

SITE CUM GROUND FLOOR, FIRST FLOOR, TERRACE FLOOR, SECTION, ELEVATION, KEY PLAN, PERCOLATION PIT, COLUMN DETAILS & PLINTH BEAM DETAILS.

SCALE 1"=8'0" (1:100) DRAWN BY K.VANITHA

architects & engineers

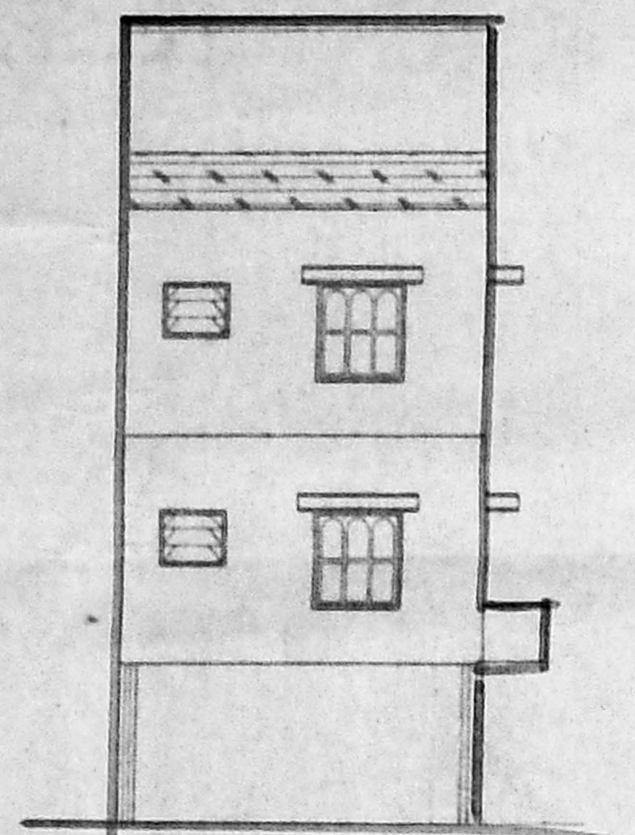
R.RAMSON ASSOCIATES

H.O: old door No.39, new No.59, v.l.p home, hind main road, r.a.puram, chennai-600 028. phone: 4813633, 7111027.
BRANCH: 10/340-a paper mills road, perambur, (opp church) chennai-600 011. phone: 5571307, 5567936. e-mail: rramson@md4.vsnl.net.in

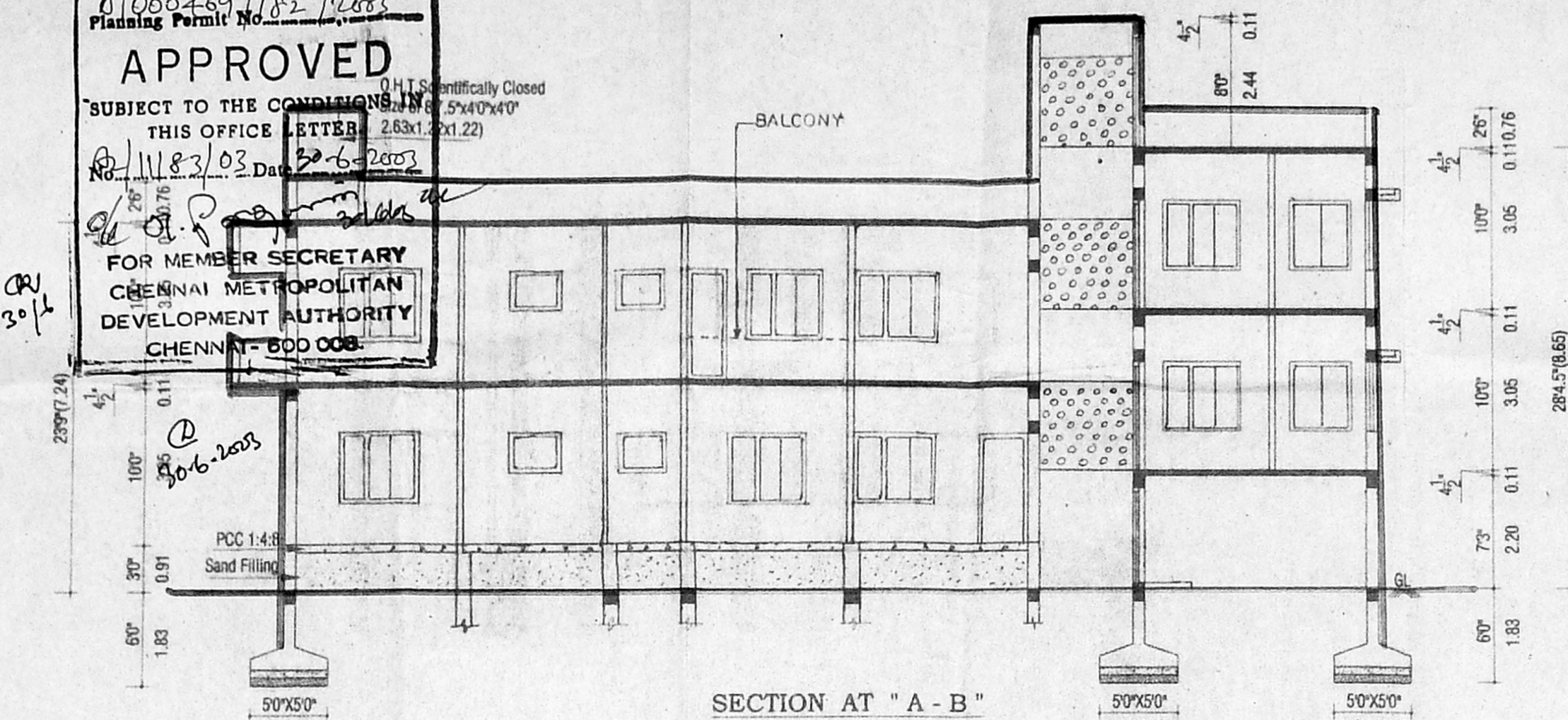
OFFICE COPY

15:127

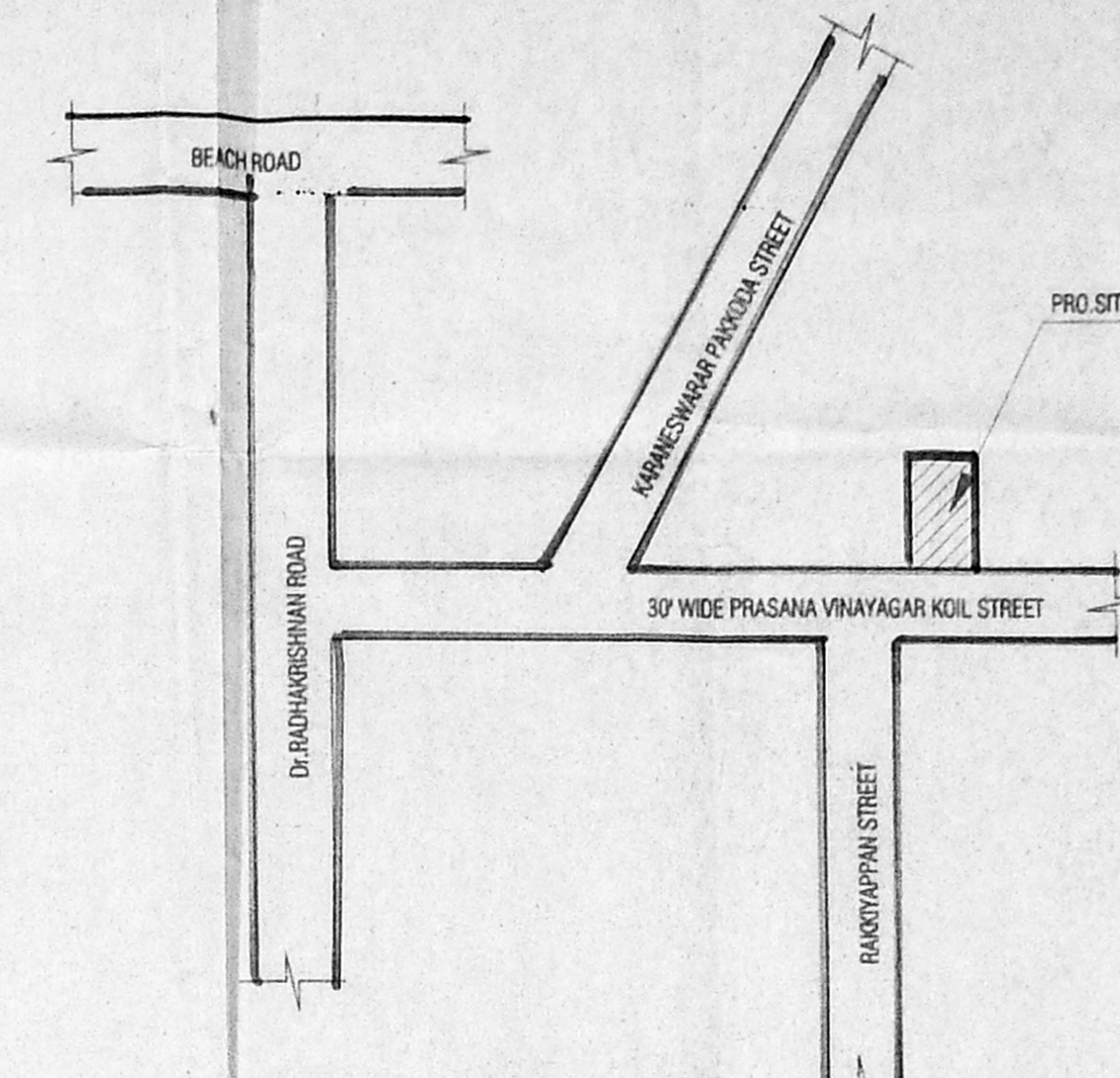
APPROVED
SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER
FOR MEMBER SECRETARY
CHENNAI METROPOLITAN
DEVELOPMENT AUTHORITY
CHENNAI - 600 008



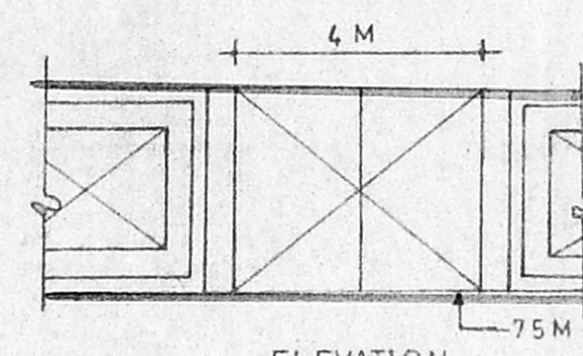
FRONT ELEVATION



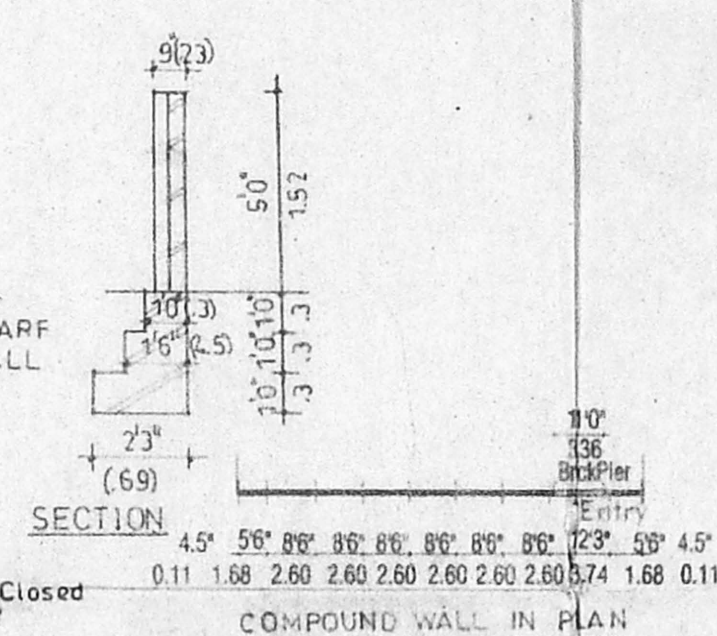
SECTION AT "A - B"



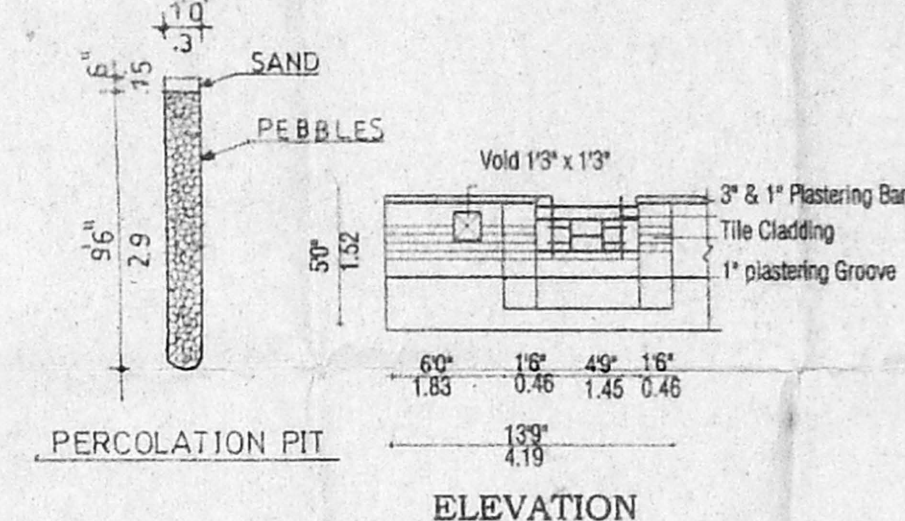
KEY PLAN N.T.S



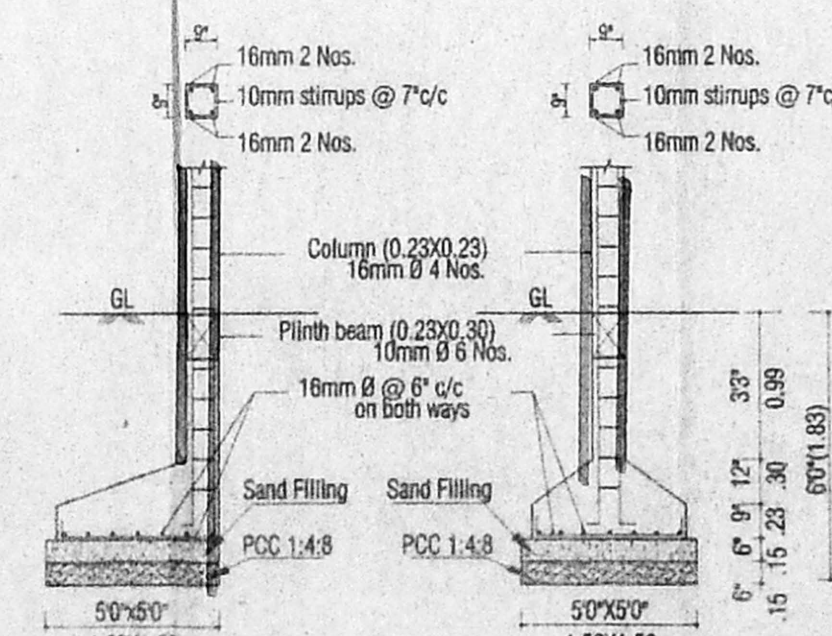
ELEVATION
COMPOUND WALL DETAIL



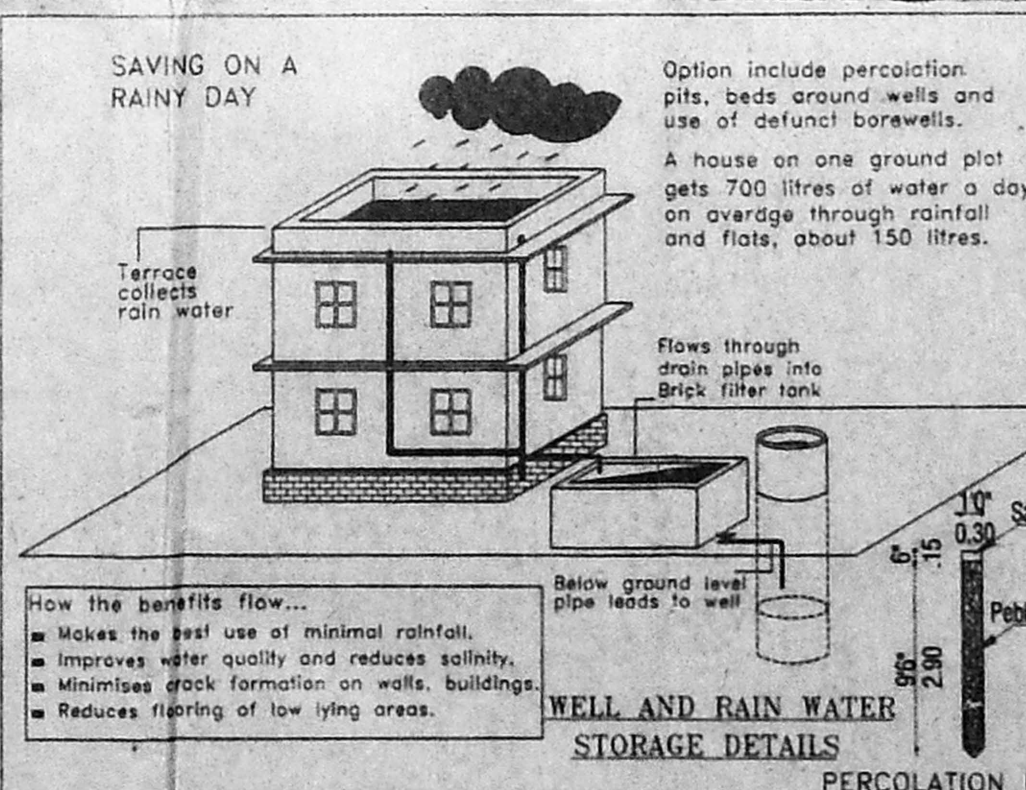
SECTION
COMPOUND WALL IN PLAN



PERCOLATION PIT
ELEVATION



COLUMN DETAILS



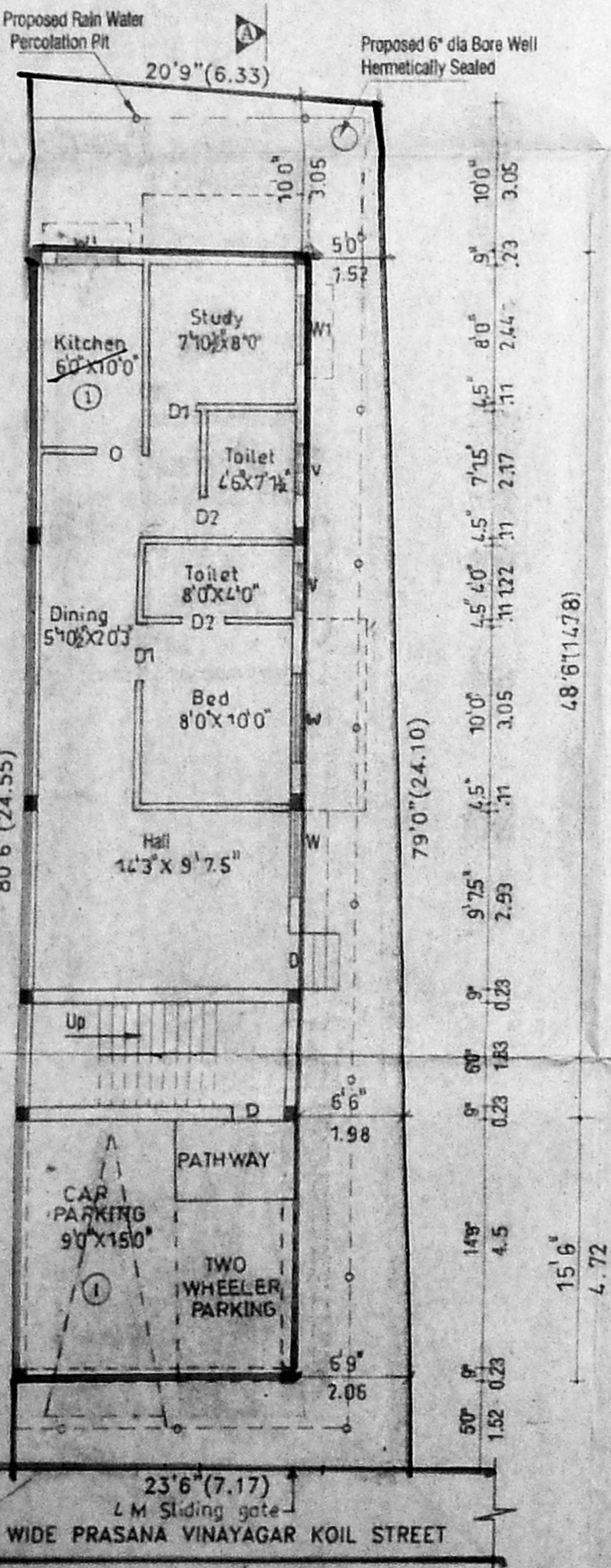
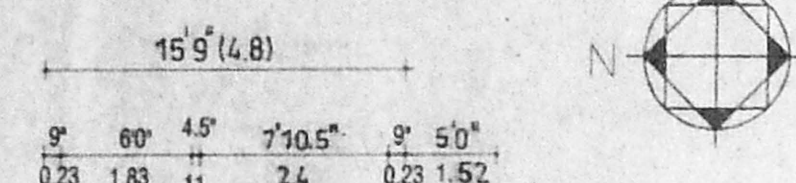
SAVING ON A RAINY DAY

Option include percolation pits, beds around wells and use of defunct borewells. A house on one ground plot gets 700 litres of water a day on average through rainfall and flats, about 150 litres.

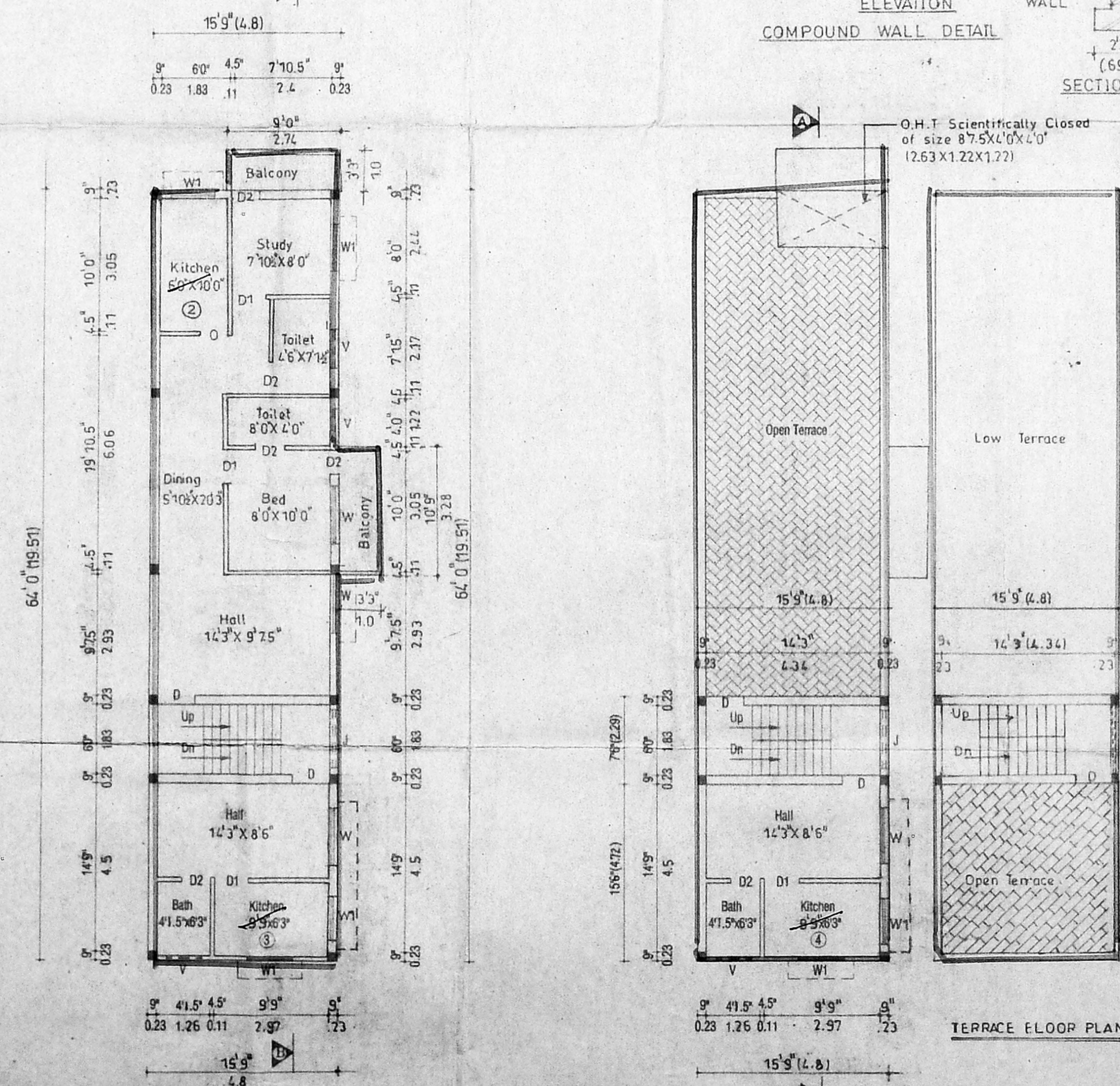
How the benefits flow...
- Makes the best use of minimal rainfall.
- Improves water quality and reduces salinity.
- Minimises gash formation on walls, buildings.
- Reduces flooring of low lying areas.

WELL AND RAIN WATER STORAGE DETAILS

PERCOLATION PIT



SITE CUM STILT FLOOR PLAN



GROUND FLOOR PLAN

SECOND FLOOR (PART) ABOVE STILT

TERRACE FLOOR PLAN